



DEVELOPMENT PERMIT NO. DP000888

D & M IDEA INC.

Name of Owner(s) of Land (Permittee)

5220 HAMMOND BAY ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, DISTRICT LOT 42, WELLINGTON DISTRICT, PLAN EPP43223

PID No. 029-358-060

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Landscape Plan

Schedule D Typical Building Elevations for each Duplex

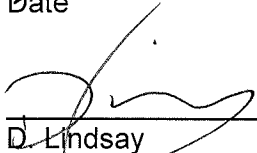
Schedule E Project Data

Schedule F Typical Streetscape

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2015-JAN-13
Date


D. Lindsay
Director

Community Development

Pursuant to Section 154 (1)(b) of the Community Charter

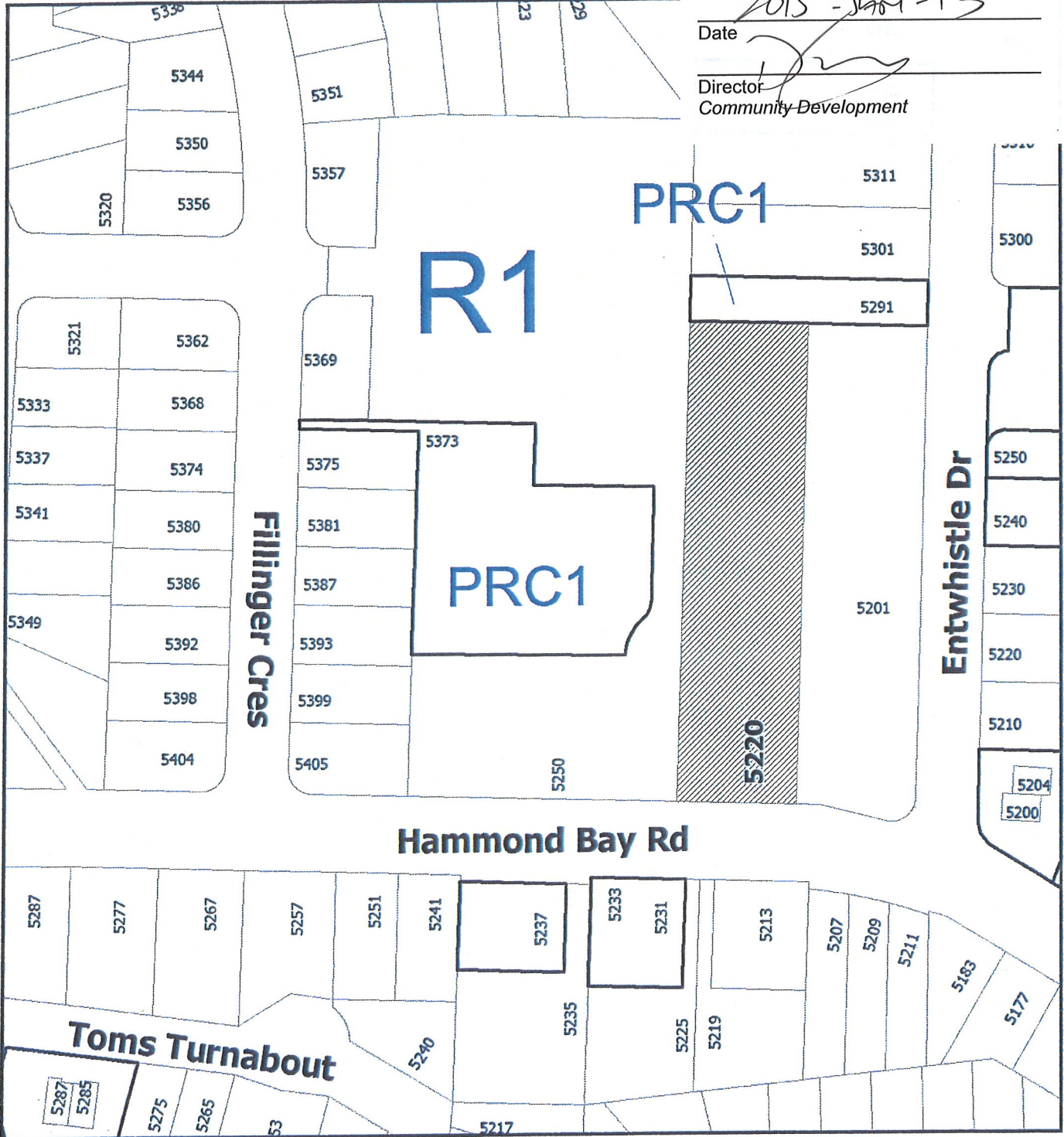
GN/lb
Prospero attachment: DP000888

SCHEDULE A

This is Schedule A referred to in the Development Permit.

Date 2015 Jan - 13

Director [Signature]
Community Development



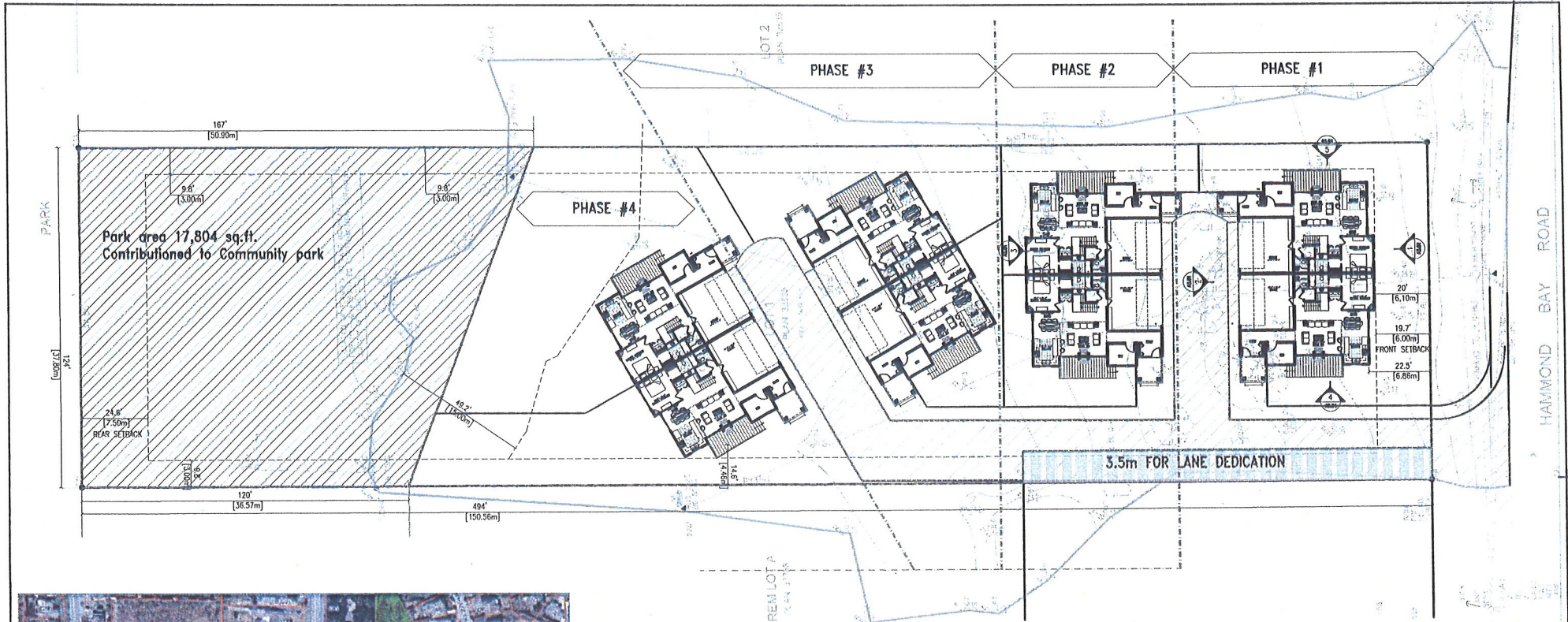
DEVELOPMENT PERMIT NO. DP000888

LOCATION PLAN



 Subject Property

Civic: 5220 Hammond Bay Road
Lot 1, District Lot 42, Wellington District,
Plan 32535



This is Schedule B referred to in the Development Permit.

Date 2015 - JAN - 13

Director
Community Development

Development Permit DP000888
5220 Hammond Bay Road

Schedule B
Site Plan



DATE	BY	REVISION

NO.	DATE	REVISION



D-ARCHITECTURE
6377 IGARUS DRIVE, NANAIMO, BC V9Y 1N4
T: 250-933-1991, E: FIRUZEL@D-ARCH.COM

CONSULTANT LOG	
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CONSULTANT BILL	
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SCALE	N/A
PROJECT	5220 HAMMOND BAY ROAD NANAIMO, BC
DATE	08 DEC 14

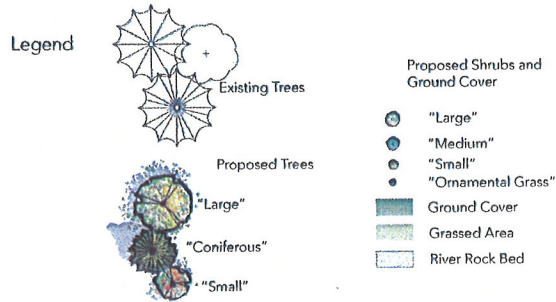
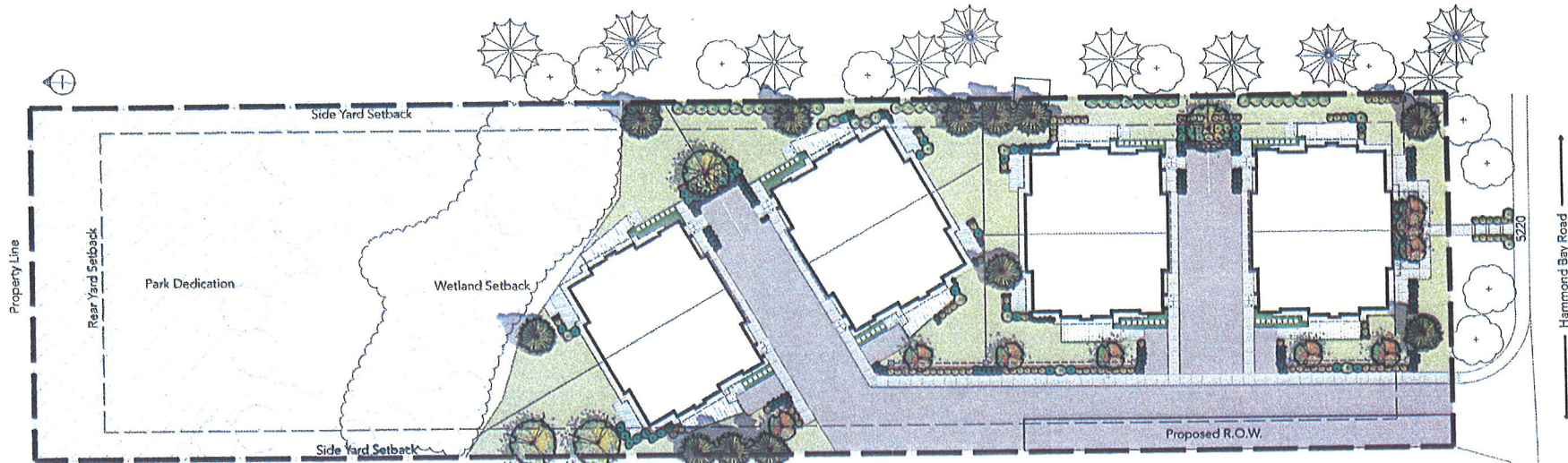
CLIENT	D&M IDEA INC.
PROJECT NO.	1321

SHEET FILE	SITE PLAN City requested
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SHEET NO.	A1.1r
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Materials Palette - Soft Landscape



Candidate Plant List

- Trees**
Acer circinatum (Vine Maple)
Acer macrophyllum (Big Leaf Maple)
Acer palmatum (Japanese Maple)
Cornus 'Eddie's White Wonder'
Picea omorika (Serbian Spruce)
- Shrubs**
Choisya ternata (Mexican Orange)
Pieris japonica (Pieris)
Pinus Mugo (Dwarf Mugo Pine)
Prunus laurocerasus (English Laurel)
Rhododendron
Taxus x media 'Hicksii' (Hicks Yew)
- Ornamental Grasses**
Cortaderia selloana (Pampas Grass)
Festuca glauca (Blue Fescue)
Pennisetum alopecuroides (Fountain Grass)

Design Rationale - Soft Landscape

The layout of the soft surfaces highlights the proposed planting as well as the drainage and stormwater management on site.

Proposed planting - The proposed planting for 5220 Hammond Bay Road uses environmentally appropriate choices for the site. Sizing and spacing adhere to the City of Nanaimo Bylaw. The site is moist and ground water is near the surface requiring a plant palette tolerant of wet soils. Two character zones are provided in the landscape plan. A public zone is accented by trees with low shrub and grass planting along the fence line thus maintaining visibility to the units. A private zone is accented by larger deciduous trees and coniferous trees. A side yard hedge is provided to the east.

Drainage and Stormwater Management - Drainage of the site is towards the creek. Coordination with Civil Engineering will provide this wet site with areas of stormwater percolation, such as rain gardens, and use of permeable materials as much as possible on site will reduce site run-off.

Irrigation - Drip irrigation is proposed for the planting beds on site while bubblers will be provided for the trees. Due to the saturated nature of the soils on site, irrigation for grassed areas is not proposed.

5220 Hammond Bay Road
 Rezoning/Development Permit Application

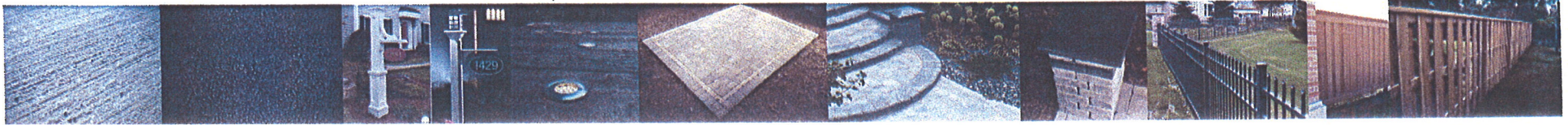
Client: D&M Idea Inc.

Landscape Plan

Development Permit DP000888 Schedule C
 5220 Hammond Bay Road
 (1/2) Landscape Plan

This is Schedule C referred to in the
 Development Permit.

2015 - JAN - 13
 Date
 [Signature]
 Director
 Community Development

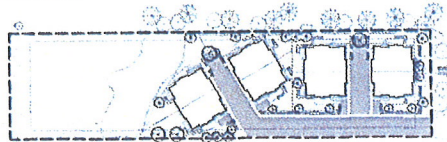


Materials Palette - Hard Landscape

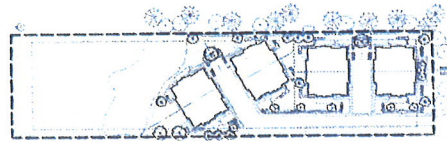
Site Diagrams



Park Dedication Area
Not to scale



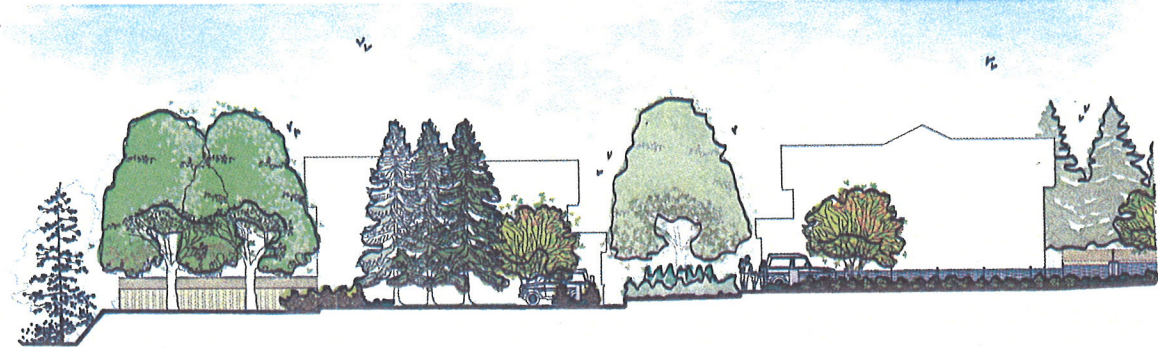
Vehicular Circulation and Parking
Not to scale



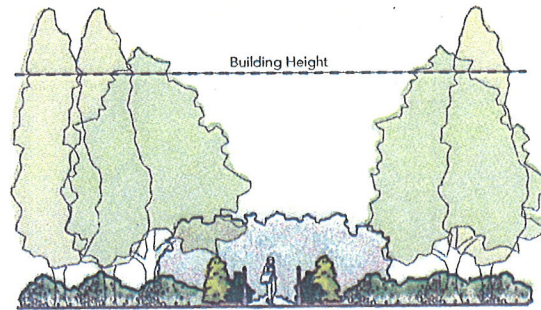
Pedestrian Areas and Circulation
Not to scale



Grassed Areas and Beds
Not to scale



Illustrative Section/Elevation
Scale 1:100



Illustrative Elevation - Pedestrian Entrance on Hammond Bay Road
Scale 1:50

Design Rationale - Hard Landscape

The layout of the hard surfaces in the Landscape Plan highlights the vehicular and pedestrian circulation, fencing, lighting and address sign posts.

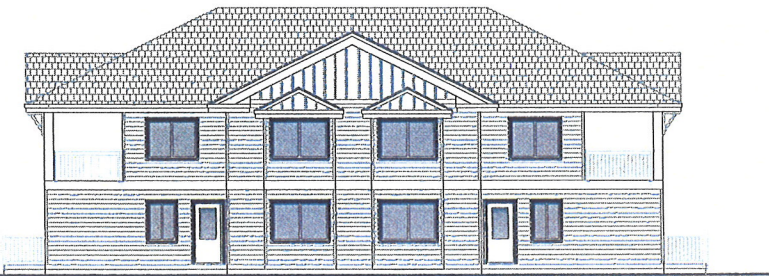
Vehicular and Pedestrian Circulation - The access lane off Hammond Bay Road serves as the major spine for both cars and people. A sidewalk is located to one side and provides direct access from the Hammond Bay Road sidewalk to the units on site. A secondary pathway leads the pedestrian from the sidewalk to each individual unit. The pathway is concrete with unit accent paving to highlight individual entrances.

Fencing - Two fencing types are provided for the site. A 1.2m metal picket fence is located in the common area along the sidewalk. Pillars are incorporated into the fence at key areas along the sidewalk and side yards. A 1.8m wood fence is located along the east property line.

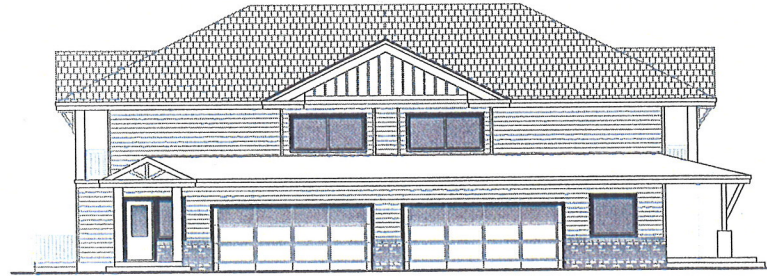
Lighting - Lighting in the landscape is provided at grade. LED lights are provided at points along the pathways marking key points of transition and entries.

Address Sign Posts - The pedestrian entrance that provides access to the two units closest to Hammond Bay Road is marked with subtle address sign posts. These posts reflect the character of the entrances of the immediate neighbourhood and provide a gateway to the residences.

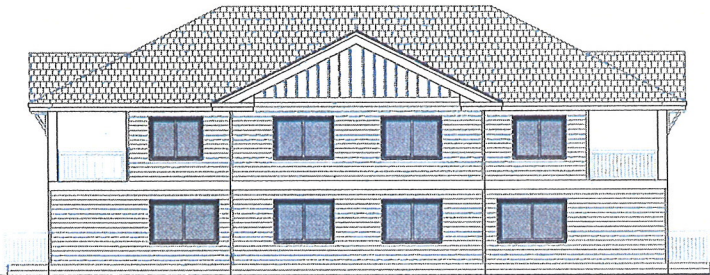
Development Permit DP000888
 5220 Hammond Bay Road
 Schedule D
 Typical Building Elevations
 for each Duplex



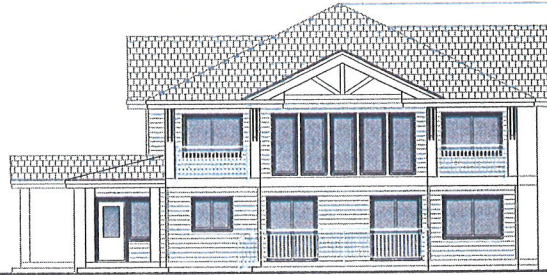
Elevation #1



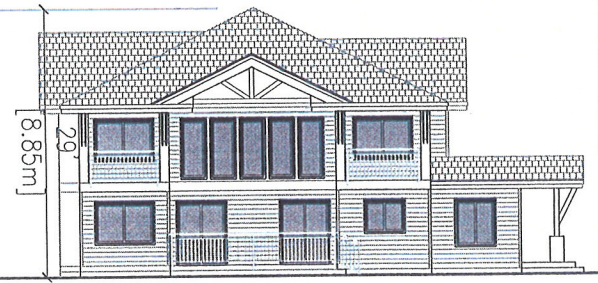
Elevation #2



Elevation #3



Elevation #4



Elevation #5

This is Schedule D referred to in the
 Development Permit.

2015-JAN-13

Date

[Signature]
 Director
 Community Development

NOTES
 1. This drawing is an approved plan for the project.
 2. All work shall be done in accordance with the
 3. The contractor shall be responsible for obtaining
 4. The contractor shall be responsible for obtaining
 5. The contractor shall be responsible for obtaining
 6. The contractor shall be responsible for obtaining
 7. The contractor shall be responsible for obtaining
 8. The contractor shall be responsible for obtaining
 9. The contractor shall be responsible for obtaining
 10. The contractor shall be responsible for obtaining

NO	DATE	REVISION



SCALE	N/A
DATE	08 DEC 14

PROJECT	5220 HAMMOND BAY ROAD NANAIMO, BC
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CLIENT	D&M IDEA INC.
PROJECT NO.	1321

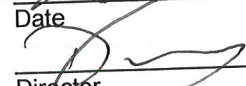
SHEET TITLE	UNIT ELEVATIONS
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SHEET NO.	A3.1
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SITE PARTICULARS

CIVIC ADDRESS: 5220 Hammond Bay Road, Nanaimo, BC
 LEGAL ADDRESS: Lot 1, District Lot 42, Wellington District, Plan 32535.
 SITE AREA: 0.96 Acres, 41,737 sq.ft. (3,877.5 m²)
 ZONING: Current Zoning R6

This is Schedule E referred to in the Development Permit.

2015 - JUN - 13
 Date

 Director
 Community Development

PROJECT DATA

DESCRIPTION	Requirements for R6 zoning	PROPOSED DESIGN (R6)
USE	Townhouse Residential	Townhouse Residential
LOT AREA	16,146 sq.ft. (1,500 m ²) Minimum	41,737 sq.ft. (3,877.5 m ²)
LOT COVERAGE	40% = 16,700 sq.ft. (1,551 M ²)	26% = 10,924 sq.ft. (1,015 M ²)
BUILDING GROSS FLOOR AREA		16,176 sq.ft. (1,503 m ²)
DENSITY	The Maximum Floor Area Ratio shall not exceed 0.45 18,781 sq.ft. (1,745 m ²)	Proposed 16,176 sq.ft. (1,503 m ²)
SETBACKS	FRONT: 19.69' (6.0 m) Min. REAR (wetland): 49.20' (15.00 m) Min. SIDE: 9.84' (3.0 m) Min.	FRONT: 20.00' (6.10 m) Min. REAR: 49.20' (15.00 m) Min. SIDE: 9.84' (3.0 m) Min.
HEIGHT OF BUILDINGS	29.52' (9 m) Max. for slope roof (<4:12)	29.0' (8.85 m) Max.
AMENITY AREAS		
OFF-STREET PARKING	- Residential 1.66 spaces for each unit	- provided 2 parking per unit

Development Permit DP000888
5220 Hammond Bay Road

Schedule F

Typical Streetscape



This is Schedule F referred to in the
Development Permit.

2015 - Jan - 13

Date

Director

Community Development

RESIDENTIAL DEVELOPMENT

5220 Hammond Bay Road, Nanaimo, BC

PROJECT No: 1321

3D RENDERING

SCALE: N/A
DATE: JUNE 24 2014

A4.1



DARYOUSH FIROUZLI ARCHITECTURE INC.

6377 Icarus Drive
NANAIMO, BC
V9V 1N4

TEL: (250) 933-1991
FAX: (250) 933-1990
EMAIL: info@DArchitect.ca